

## Proposed Residential Development, Land at Cooks Lane, Kingshurst, Solihull

### Welcome to the Exhibition



Aerial view of site  
outlined in red



Welcome to this exhibition which presents our proposal for bringing forward a new, high quality residential development on at Cooks Lane, Kingshurst, Solihull

The North Solihull Partnership, in association with Bellway Homes, is proposing a new residential development for in the region of either 50 or 70 units.

These proposals form part of the wider regeneration programme for North Solihull, which includes building new homes, primary schools and village centres, creating jobs and improving the quality of open space within the area.

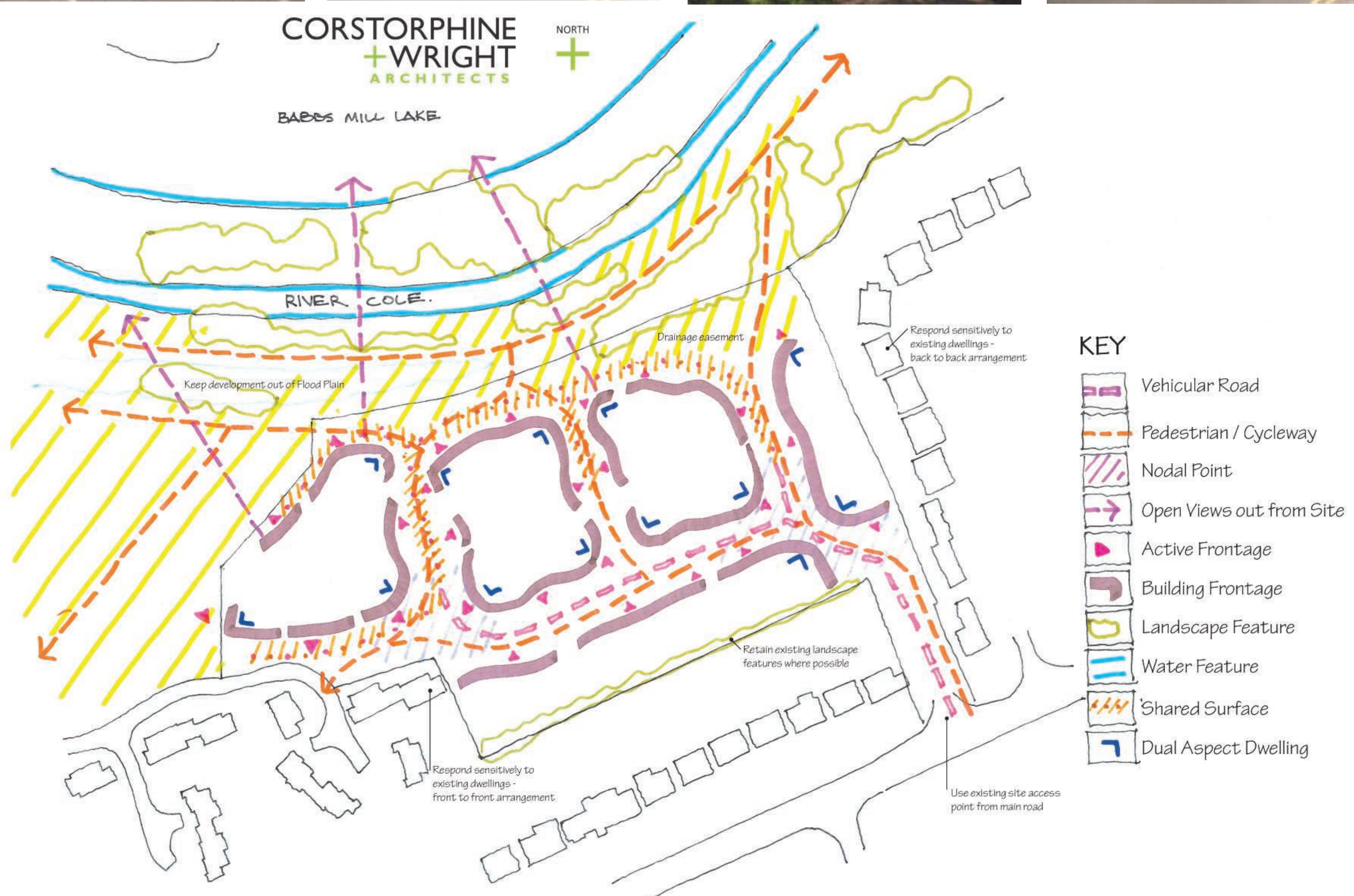
Sharing our proposals with the local community is an important part of the planning process. We want to hear your views and will consider all comments and feedback that we receive before we submit a planning application. Ultimately, the issues raised and our responses to them will be contained in a 'Statement of Community Involvement' which is to be submitted with a planning application.

The North Solihull Partnership and Bellway Homes have employed a team of professional consultants to work on the different aspects of the proposals. Representatives of the Partnership and Bellway Homes are available to answer your questions.



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## Site Appraisal Plan





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## Option A High Density Scheme—70 Units



### Development description

Erection of 70 houses/apartments with associated landscaping, parking and access



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## Option B Low Density Scheme—52 Units



### Development description

Erection of 52 houses with associated landscaping, parking and access

### Examples of Bellway Developments

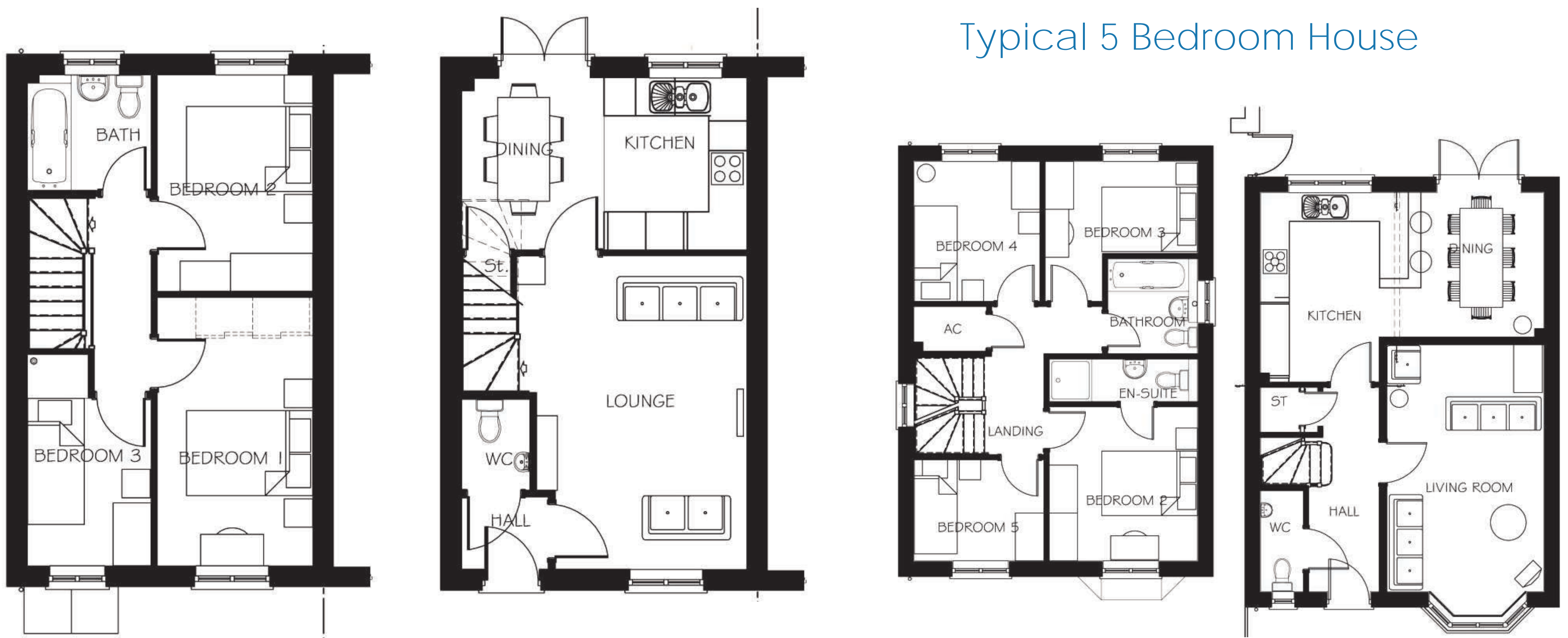




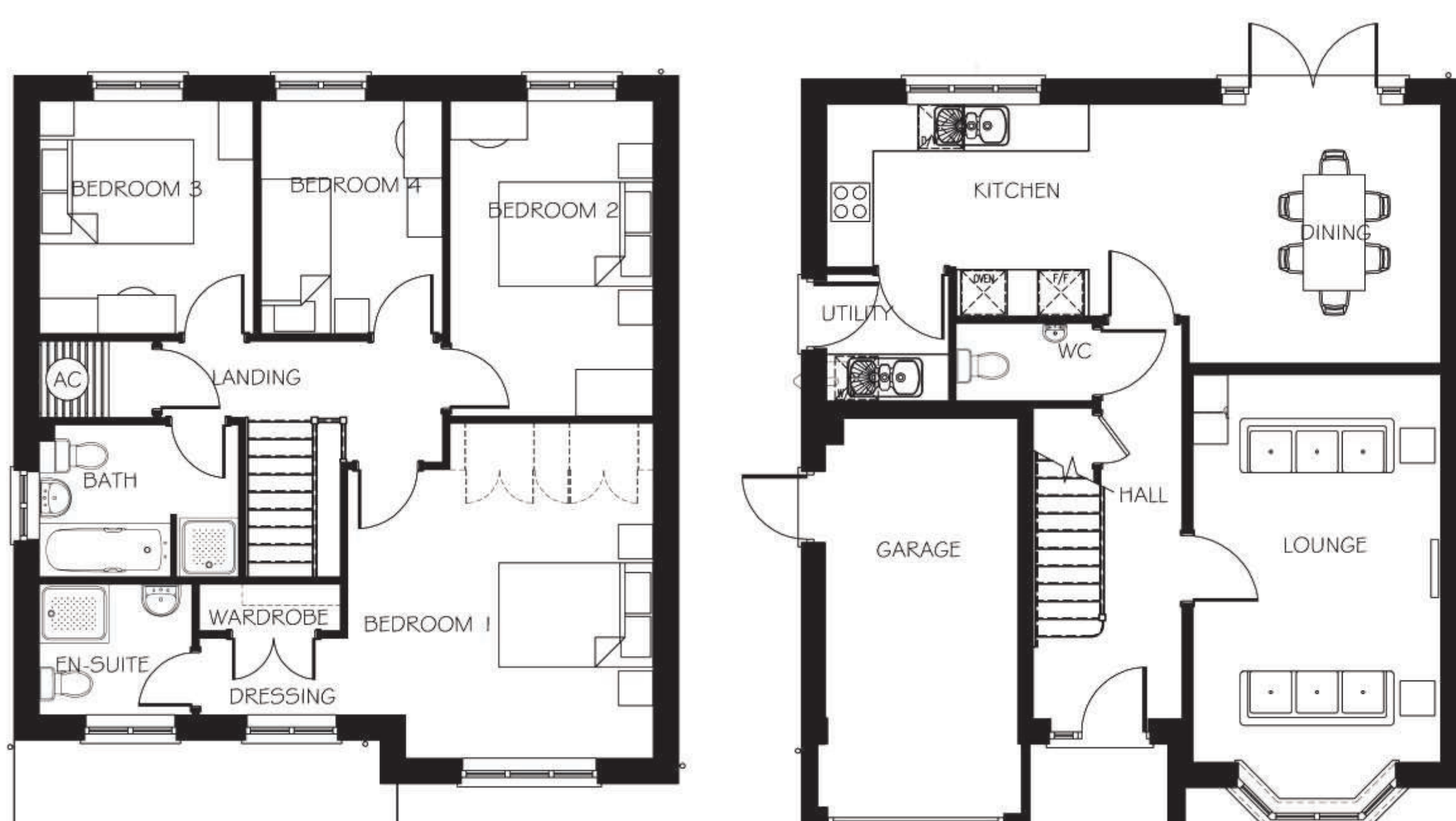
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## Floor Plans/Layout

Typical 5 Bedroom House



Typical 3 Bedroom House



Typical 4 Bedroom House





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## Proposed Site Perspectives for Option B

Across River Cole



Facing River Cole



From Site Entrance



Through Development  
Towards River Cole



View from the South East



View from the South West



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How the proposals could look based on Option B

## Section A-A



## Section B-B



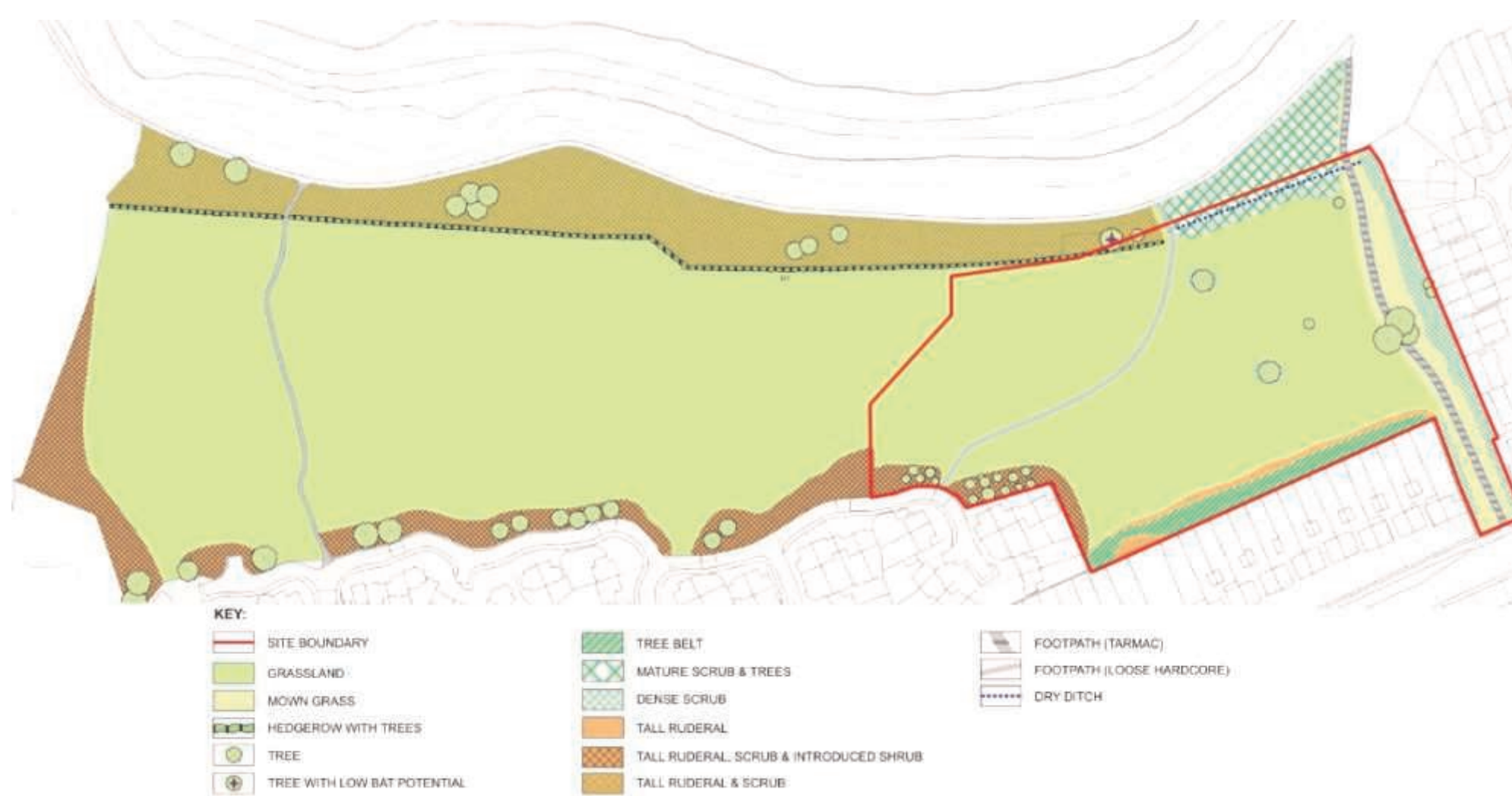
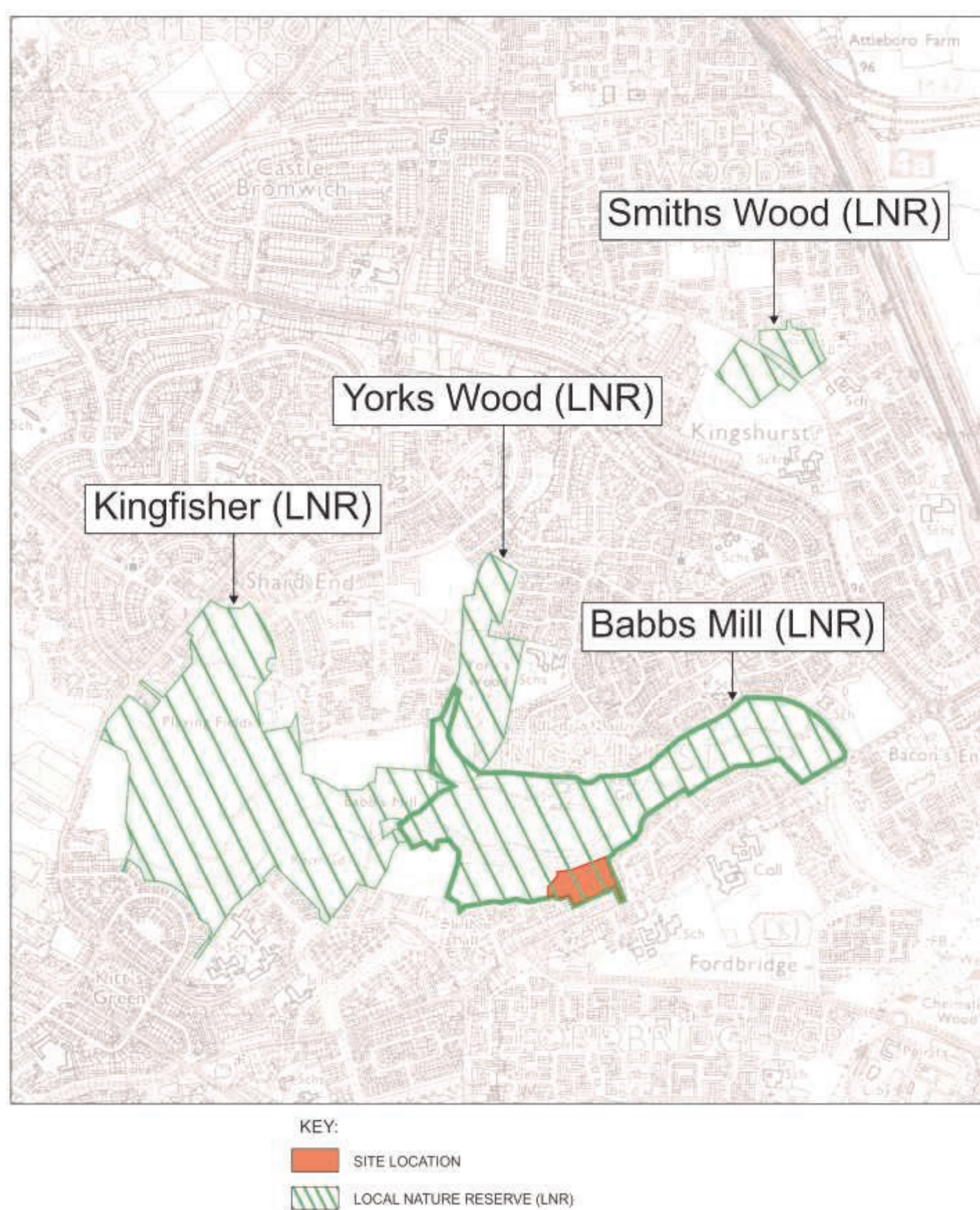
## Section C-C





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## Ecological Mitigation



### The Site

The application site amounts to 1.98 hectares of the 30+ hectare Babbs Mill Nature Reserve.

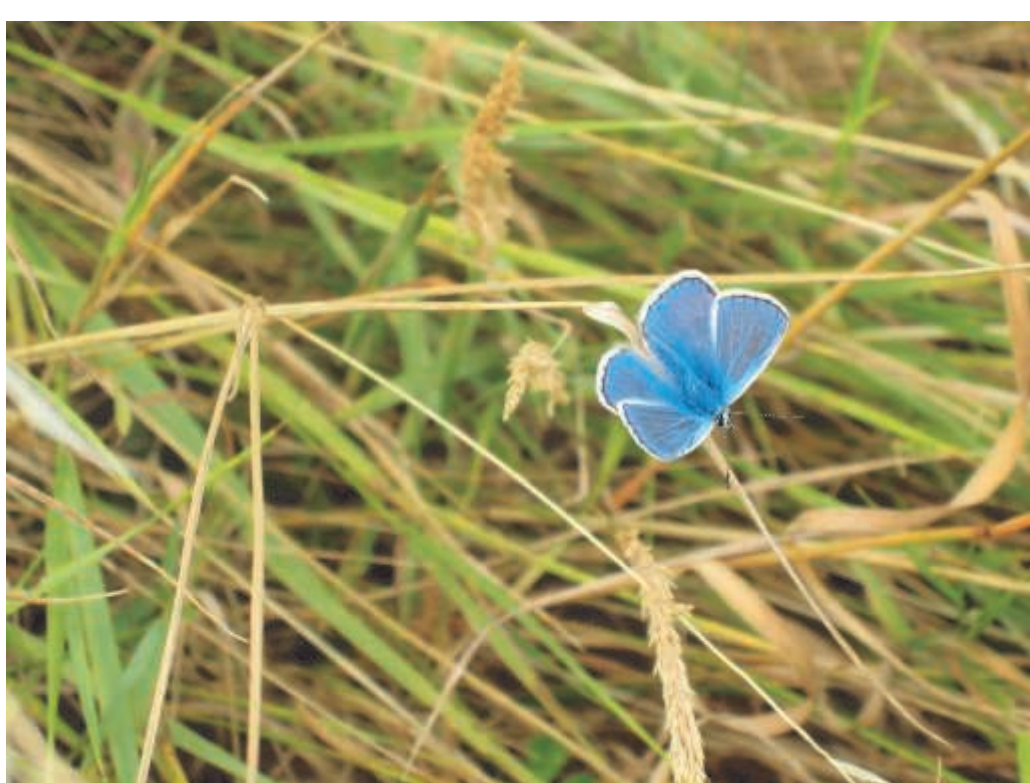
The vast majority of the application site comprises species-poor improved grassland meadow which is of relatively low ecological value.

### Ecological Mitigation

The ecological mitigation strategy has been drawn up in consultation with the Council's ecology and landscape officers, with oversight from the Planning and Infrastructure Group. The key aim of the ecological mitigation strategy is to compensate for the loss of 1.98 hectares of lowland meadow habitat from Babbs Mill Local Nature Reserve (LNR).

0.5 hectares of existing amenity grassland within and adjacent to Cole Bank LNR will be enhanced, and then designated as part of the LNR to compensate for the loss of the application site in terms of quantity and quality.

A number of ecological and landscape enhancements are proposed that will deliver benefits for biodiversity, including new wetland habitat creation and species-specific measures, for example in respect of bats, birds and Hedgehog. Overall there will be a net gain in terms of biodiversity. Please see the separate landscape board for details of landscape enhancements.





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### Drainage

#### Existing Flood Risk

The proposed development site lies to the south of the River Cole which is classed as Main River and is maintained by the Environment Agency (EA). The EA have in the past prepared a hydraulic model of the river to assess the extent of any flood plain which may be experienced under extreme rainfall events. Their model has been transposed onto the topographical survey of the development area and this confirms that no areas of the site are prone to flooding. Under planning terms the site therefore is classed as being located fully within Flood Zone 1 and residential development is therefore appropriate.

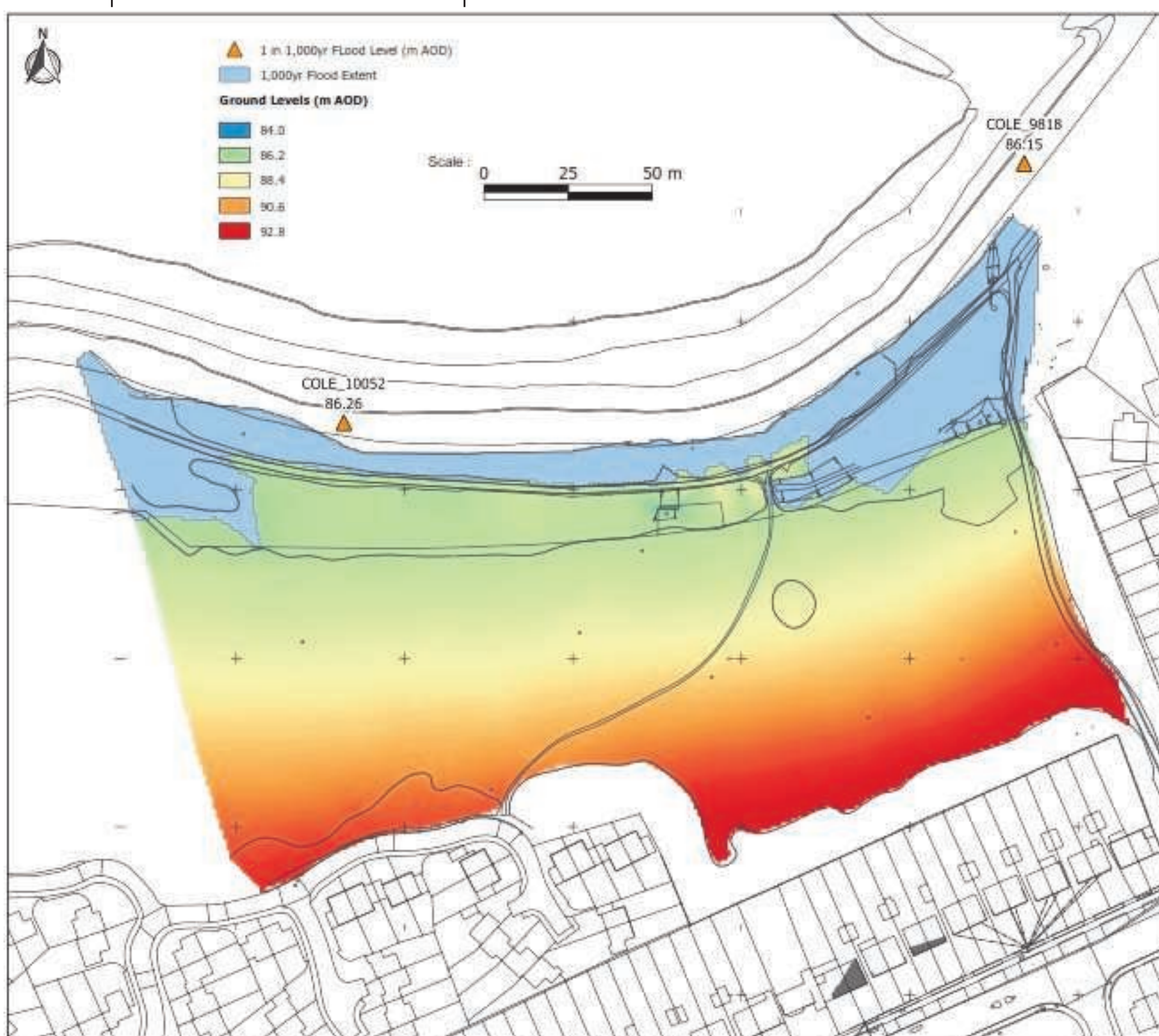
#### Proposed Drainage

*Foul Water Drainage* – There is a large diameter public foul water sewer which passes through the north-eastern corner of the site, flows generated by the development will be piped to this sewer for disposal into the public drainage system. The new drainage system constructed to serve the development will be offered to Severn Trent Water for adoption which will ensure that adequate maintenance will be in place throughout the life of the development.

*Surface Water Drainage* – Following development the new impermeable areas of the site (roofs and roads etc) will generate surface water flow rates in excess of those experienced from the site in its current greenfield state. In order to ensure that these increased rates are not transferred straight into the river a system of water flow attenuation and storage will be installed to hold and slow the flow down. It is proposed that the existing densely vegetated depressions between the site and the river are opened up and ecologically enhanced. The volume available in the depressions will be adequate to store the rainfall run-off from the development and a flow control will be installed to

slow the rate at which water leaves the system and on to the river. The rate at which the flow will be controlled will be limited to the rate at which water currently leaves the site under greenfield conditions. With these systems in place the site will pose no additional flooding threat to the river and the downstream catchment than is currently experienced.

Again, the new drainage system constructed to serve the development itself will be offered to Severn Trent Water for adoption and ongoing maintenance.





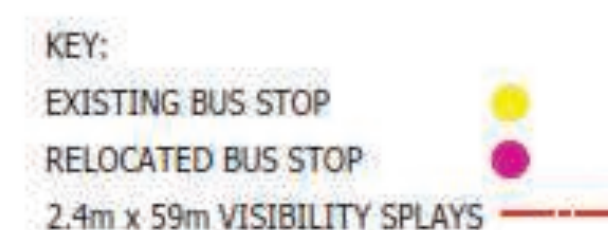
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## Landscape Proposals





# Highway Works

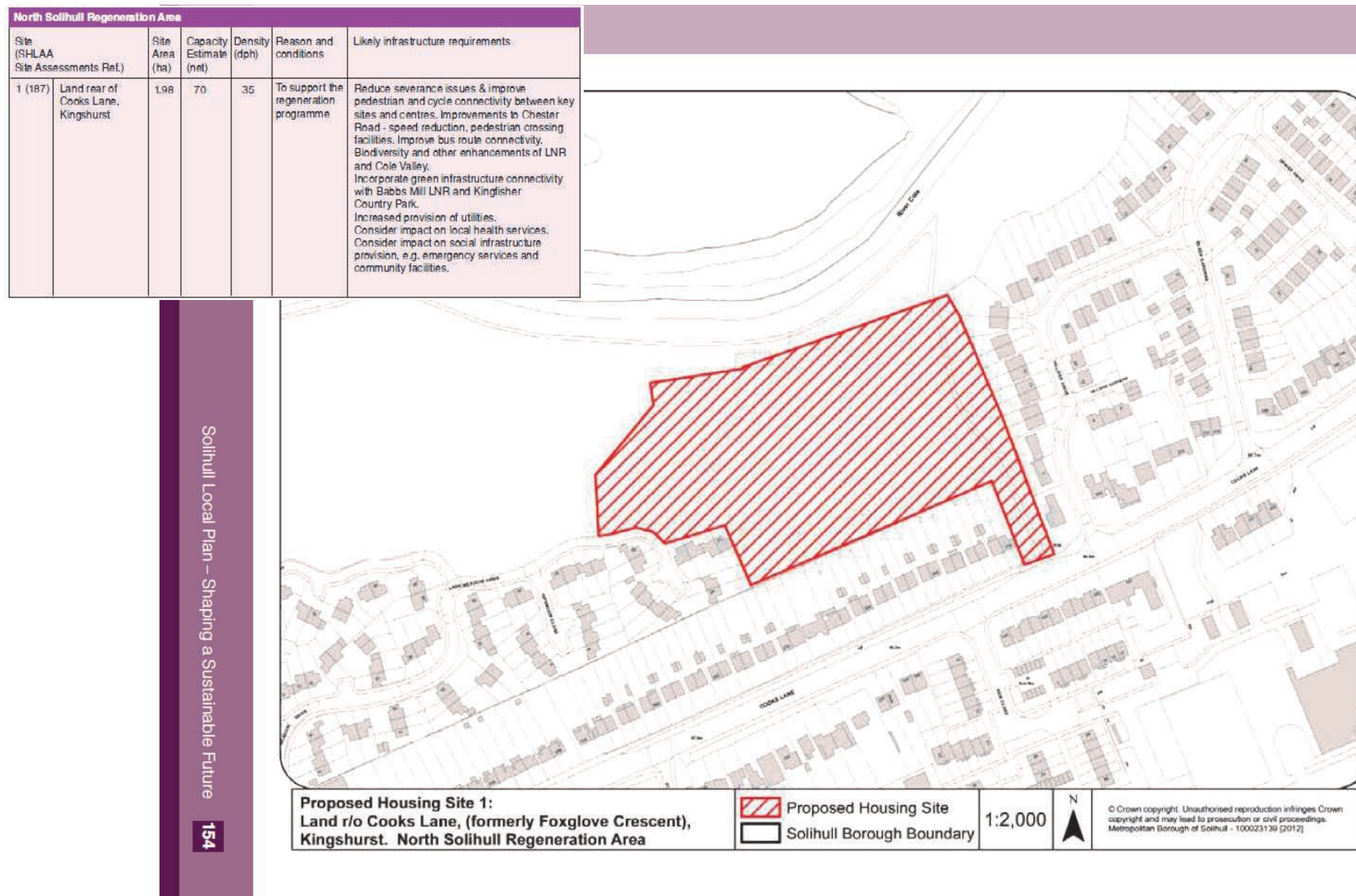


1. Removal of the existing eastbound bus layby on the north side of Cooks Lane and its replacement with the new site access junction.
2. Relocation of the existing eastbound bus stop to a point west of Kew Close (exact location to be finalised). The new stop would be to CENTRO/Network West Midlands specifications and consistent with other stops along Cooks Lane.
3. A right turn lane would be provided on Cooks Lane to provide shelter for traffic turning into the development, consistent with similar provision at other side road junctions along the route.
4. Existing on-carriageway cycle lane on Cooks Lane eastbound to be continued across the mouth of the new junction.
5. The access road itself would have a width of 5.5m with 2.0m footways to either side, connecting with the existing footway that runs along the north side of Cooks Lane.
6. At the new junction, 6m corner radii would be provided to accommodate refuse collection and other service vehicles.
7. Visibility splays to be provided in accordance with the Manual for Streets.



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## Planning Context



- The Local Plan sets out how Solihull MBC will its required housing between 2011 and 2028.
- The application site has been allocated for housing within the Solihull Local Plan (see extracts from the Local Plan above), which has been subject to extensive public consultation and examination by an Inspector appointed by the Secretary of State.
- The principle of residential development has therefore already been established on the application site
- The Inspector commented that the nature conservation value of the LNR or country park would not be seriously eroded, particularly with the greenspace and biodiversity enhancements envisaged for a future proposal
- The Local Plan has therefore set a number of infrastructure requirements that any development must comply with, which are listed in the Local Plan extract above and include:
  - biodiversity and other enhancements of the Local Nature Reserve and Cole Valley
  - Incorporate green infrastructure connectivity with Babb's Mill Local Nature Reserve and King Fisher Country Park.
- The consultation boards demonstrate how the infrastructure requirements as set out in the allocation will be achieved